

# INSPECTION REPORT

4173 Clover Ave.  
Vadnais Heights, MN 55127

PREPARED FOR:  
Ramsey County T.F.L. / Paul Scharf



PREPARED BY:

**BLOCK BY BLOCK**  
**Home Inspections Inc.**

1800 Heifort Court  
Stillwater, MN 55082  
Tel (651) 439-6152  
[www.blockbyblockinc.com](http://www.blockbyblockinc.com)



CERTIFIED INSPECTOR

April 22, 2018

Property Address: 4173 Clover Ave.  
Vadnais Heights, MN 55127

Client: Ramsey County T.F.L. / Paul Scharf

At your request, Block By Block Home Inspections Inc. conducted a home inspection of the residential property located at 4173 Clover Ave. in Vadnais Heights, MN on March 19, 2018. Brian Block performed all the fieldwork related to this project.

The purpose of this project was to observe the physical condition of the building. The intent was to identify defects or conditions that adversely affected the structure and its components. This report contains the results of the inspection.

These definitions were used in the report:

- |              |   |
|--------------|---|
| Functional - | The component was performing its intended function; Installation and condition are appropriate for age and use.   |
| Comment -    | The component could not be adequately evaluated or had a deficiency insufficient to be deemed defective. Item conditions that are below current building standards, but were typical of the era of house being inspected, will often times be classified as "Comment" items, especially if no adverse effects are outwardly visible. You should consider repair/replacement of comment items or at least monitor the components for signs of future adverse effects. This category may also include items that could be upgraded to current standards as safety improvements or simply provide information about a component. |
| Defect -     | The component was not performing its intended function and requires repair or replacement.  |

The inspection was essentially visual. There was no destructive analysis or technical testing of any building component. The project excluded all environmental health hazards and insect and vermin infestation. There was not a warranty of this building or any of its components, expressed or implied, by this project. Please refer to our statement of limitations on the last page of this report.

Block By Block Home Inspections Inc. follows the home inspection protocol described in the American Society of Home Inspectors "The Standards of Practice and Code of Ethics". A copy of these documents is available from your inspector or online at [www.ashi.org](http://www.ashi.org).

# Exterior

## Description of Exterior

Location and topography: suburban with a gently sloped site  
Weather conditions: mostly cloudy – 43 degrees  
Time of inspection: March 19, 2018 1:30 pm to 3:30 pm  
Ground conditions: mostly snow covered / frozen  
Type of building: one level single family home  
Type of garage: none  
Age of building: approximately 79 years  
Direction of house: descriptions based on facing the front entry door;  
front entry door faces east

## Yard Observations

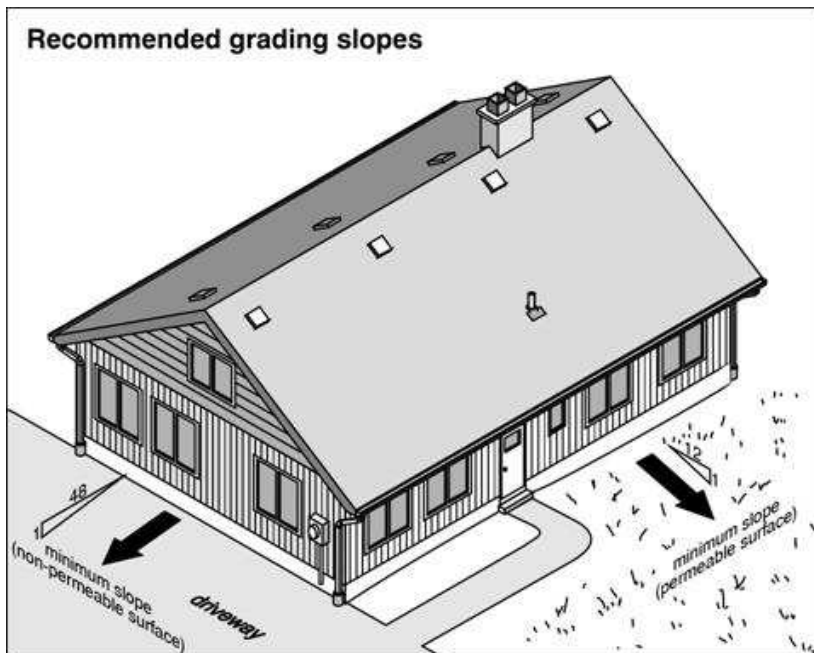
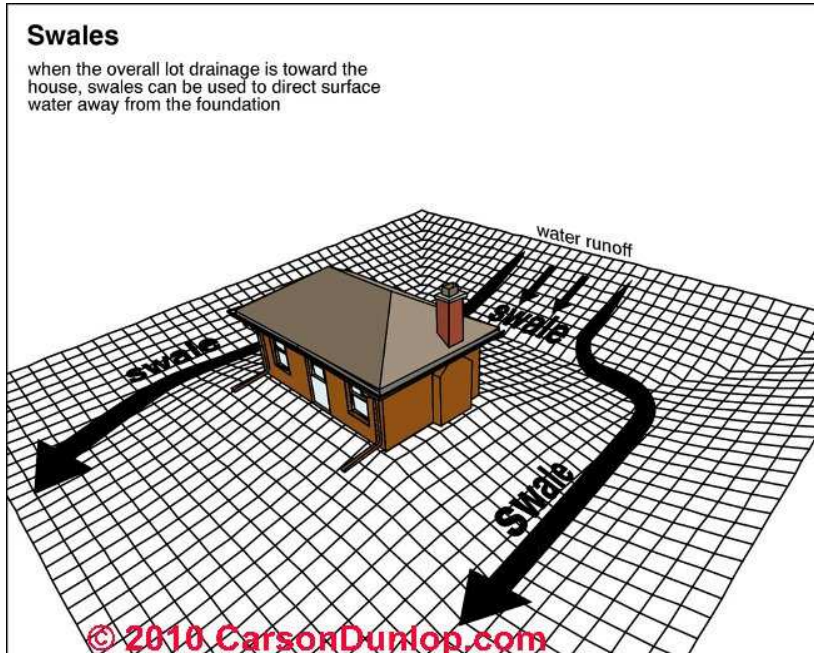
	<u>F</u>	<u>C</u>	<u>D</u>	F = Functional	C = Comment	D = Defect
Grading & drainage:						
front	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	appeared functional but the front grading and drainage could not be fully evaluated because of snow cover -- further evaluation should be made after Spring thaw to ensure that there are no low grading areas near the foundation -- see Yard Notes and illustration on the next page		
right side	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	right side grading and drainage could not be fully evaluated because of snow cover -- further evaluation should be made after Spring thaw to ensure that there are no low grading areas near the foundation -- see Yard Notes and illustration on the next page		
rear	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	rear grading and drainage could not be fully evaluated because of snow cover -- further evaluation should be made after Spring thaw to ensure that there are no low grading areas near the foundation -- see Yard Notes and illustration on the next page		
left side	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	grading appears functional however there's dampness in the basement along this wall – monitor closely – grading/drainage and gutter/downspout improvements may be required -- see Yard Notes and illustration on the next page		
Hard surfaces:						
sidewalk	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not visible for evaluation because of snow cover at the time of the inspection		
steps	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	no steps installed and the front entry deck -- installing proper steps to allow for safe entry is recommended		

## Limitations to Yard Observations

- Site grading and drainage could not be fully evaluated because of snow cover at the time of the inspection.

## Exterior cont.

**Yard Notes:** Earth grade should slope away from the foundation of the house at a rate of 1" per foot for the first 8 feet. The lot should then allow for drainage off the site to the street or other designated drainage area. Hard surfaces such as driveways, patios, sidewalks, steps and decks should also slope slightly away from house foundation (1/8" to 1/4" per foot). Improvements in these areas will help minimize soil/water pressure against foundation walls and the potential for seepage into basement. See illustrations below.



# Exterior cont.

## Exterior Building Observations

	<u>F</u>	<u>C</u>	<u>D</u>	F = Functional      C = Comment      D = Defect
Foundation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	appeared functional but most of the foundation was covered by foundation insulation so wasn't visible for evaluation
Walls:				
structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
siding / trim	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	some minor damaged vinyl siding areas -- patching/sealing/repairing the damaged areas is recommended
flashing & caulking	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	no cap flashing installed at the top side of the electrical meter socket at the left side of the house -- potential moisture entry point -- installing proper flashing is recommended melted vinyl siding at the left side of the house -- the damaged area should not hurt performance
Windows:				
basement	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	cracked glass/plastic panes -- wood decay -- potential water entry points -- grass growing behind outer glazing -- soil removal from window area to achieve clearance from the windows is recommended -- repair/replace windows as needed
main	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	minor decay and chipped/peeling paint at the wood windows -- keep exterior wood surfaces well sealed/primed/painted as part of regular maintenance minor damage (likely hail) at the vinyl clad windows -- patching/sealing the damaged areas is recommended
screens	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	several window screens aren't installed and some have holes -- the quantity and condition of uninstalled screens is not evaluated
Entry doors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	missing handle at the front entry door -- installing a proper handle is recommended
Deck	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	no steps installed and the front entry deck -- installing proper steps to allow for safe entry is recommended COMMENTS: some decayed wood deck components -- repair/replace as needed loose guardrail components -- repairing or otherwise reinforcing the guardrail is recommended for safety guardrail baluster spacing is wider than modern safety practices and the guardrail height is lower than modern safety practices (in some areas) -- modern safety requirements for baluster spacing: a 4 inch sphere should not be able to pass through -- modern safety requirements for guardrail height: 36 inches minimum height -- recommended safety improvements the deck is built close to earth grade with soil contact with some lumber framing -- this will lead to premature decay even with treated lumber -- monitor and repair/replace as needed some of the deck posts aren't bearing fully on the concrete footings -- monitor and repair/correct if needed

## Limitations to Building Observations

- Leaking insulated window glass seals (fogging and condensation between panes) may not be visible at time of inspection due to temperature conditions.
- Exterior foundation observations are limited to above grade visible area only.
- The deck footings are below ground and proper frostline footings can not be confirmed.
- The deck structure (underside) was not fully visible for evaluation because the deck is close to earth grade and has wood lattice skirting material installed around the perimeter.

# Exterior cont.

## Roof and Chimney Observations

Roof shingles: asphalt composition (standard 3-tab type)  
 Number of layers: at least 2 layers  
 Approximate age: unknown  
 Roof flashing: metal  
 Method used to view roof: walked on roof

	<b>F</b>	<b>C</b>	<b>D</b>	F = Functional      C = Comment      D = Defect
Roof:				
slope & style covering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	damaged shingles (hole to allow water intrusion at the left side of the house, cracked shingles, missing shingle tabs, staples/nails popped through shingles, etc.) -- repair/replace roof covering components as needed COMMENTS: tree branches hanging on/over roof -- trimming branches well away from the roof is recommended as part of regular maintenance roof covering details weren't fully visible for evaluation because of snow cover no metal drip edge material installed at the roof edges and the asphalt shingles are sagging over the edges
flashing	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	no visible flashing details around the masonry chimney (shingles run right up to the chimney and the chimney has been covered with a black plastic bag so not visible) -- potential moisture entry point -- ensuring proper step flashing details around the chimney is recommended the rubber "auto-calk" seal around the plumbing vent pipe(s) are cracked/split in some areas -- potential water entry points -- seal repair/replacement is recommended
Roof penetrations:				
chimney	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not visible for inspection because the chimney is covered with a black plastic bag
water heater flue pipe	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not visible for inspection because the chimney is covered with a black plastic bag
plumbing vent pipes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	the top of the pipe is sealed with black duct tape -- plumbing vent pipes need to be open to work properly
attic vent caps	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	one cap has slid out of place
exhaust / ventilation fan caps	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs:				
soffit & fascia	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
gutter & downspout	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	disconnected sections, missing end cap(s), holes in plastic gutters, obstructed with tree debris -- repair/replace as needed -- keep gutters clean and downspouts/extensions well connected as part of regular maintenance -- correct gutter and downspout performance is very important to promote proper drainage away from the foundation and to minimize the potential for basement seepage and soil pressure against foundation walls

## Limitations to Roof Observations

- Roof components weren't fully visible for evaluation because of snow cover. Evaluations are based on visible areas only.

# Structure

## Description of Structure

Foundation:	concrete block with partial basement and crawl space
Floor systems:	wood frame joists (2" x 8") with wood plank & plywood subfloors
Support walls:	wood framed with vinyl siding
Attic:	wood framed system
Method used to view attic:	from attic access panel and hole in the basement stairwell ceiling (limited view)

## Structural Observations

	<b>F</b>	<b>C</b>	<b>D</b>	F = Functional	C = Comment	D = Defect
Stairs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	structurally sound but are quite steep (short treads/high rises)		
Foundation: walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	some horizontal cracking -- patch/seal and monitor -- exterior grading/drainage and gutter/downspout improvements recommended		
concrete slab moisture	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	water staining / efflorescence / dampness -- exterior grading/drainage and gutter/downspout improvements recommended		
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	mold/mildew in the basement (on main level floor joists and subfloor and on dirty foundation walls) -- proper clean-up by a qualified person is recommended		
Floors & walls: joists & sub floor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	some decayed joists, joist hangers not installed where joists meet the rim joist -- further evaluation by a structural engineer or other qualified licensed contractor for repairs is recommended		
walls posts & beams	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	compressed and not level wood lumber between the metal support posts and beams -- further evaluation by a structural engineer for repairs is recommended		
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	rusty steel post components seams in the beam are not installed over a post -- not a strong method		
moisture	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	mold/mildew on walls and ceilings in several main level rooms -- proper clean-up by a qualified person is recommended COMMENT: the condition of the back side of the drywall/plaster and the wall studs isn't visible for inspection -- this is not an intrusive evaluation -- see Structure Notes on the next page		
Roof / attic: rafters & sheathing chimney	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	some loose/missing mortar near the top of the chimney -- repairs by a qualified mason recommended		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	damaged shingles (a hole is allowing water intrusion at the left side of the house)		
moisture	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	water staining on the roof rafters and sheathing around the chimney and some other areas at the front part of the house -- this area appeared dry at the time of the inspection but there are roof top flashing deficiencies that need to be corrected		

# Structure cont.

## **Limitations to Structural Observations**

- The main level walls are drywall/plaster finished so the condition of the framing members in those finished areas is unknown.
- Evaluation of the foundation walls and concrete slab is limited because the crawl space isn't readily accessible.

**General Structure Notes:** We look for signs of hidden water damage, or the potential for damage. HOWEVER, damage can exist without readily visible signs. This visual inspection is NOT a moisture intrusion inspection. A specialist in moisture intrusion and technically exhaustive wall cavity testing should be consulted if you have concerns regarding this property. Also, check the house quarterly for stains, cracks or other signs of hidden water damage, especially below windows and roof-wall joints.



# Insulation

## Insulation Observations

	<u>F</u>	<u>C</u>	<u>D</u>	F = Functional    C = Comment    D = Defect
Foundation exterior	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	unprotected foam board foundation insulation in some areas -- exterior foundation insulation should be clad or skim coated with a masonry product to prevent physical, insect and sun damage
type: foam board depth: 2 inches				
Basement interior	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	mouse droppings, mouse tunneling in the rim joist insulation and dead mouse in a trap on the floor -- further evaluation by a qualified pest control professional is required to determine if mouse activity is current and potential points of entry and if any clean-up is necessary COMMENT: no insulation on the interior foundation walls
Crawl space	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	no insulation on the interior foundation walls no sheet plastic vapor barrier over the dirt floor -- installing a proper seam sealed vapor barrier is recommended
Wall	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not visible -- all walls are finished
Attic	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	the ceiling in the basement stairwell has been removed or has fallen down and thus no insulation in this area -- ceiling repair and re-insulating the area is recommended COMMENTS: the depth and type of insulation is inconsistent in the front original part of the house there may be other types of insulation below the cellulose in the front part of the house but not visible during this inspection
type: cellulose depth: 10 to 12 inches (in the rear addition) vapor barrier: yes (in the rear addition) ventilation: no (no soffit vents)				

## Limitations to Insulation Observations

- Main level walls are finished so the type, depth and condition or presence of insulation is unknown.

**General Insulation Notes:** Interior foundation (basement wall) insulation, common in modern homes, is not recommended. It is difficult to control moisture and water vapor in an interior insulated foundation. Exterior foundation insulation is advised. Interior finish on foundation walls may be successful if NOT insulated using common methods. Check interior insulated basements often for signs of dampness. Also, unfaced fiberglass insulation in rim joists cavities may lead to condensation and deterioration on the rim joist framing. Alternate type insulation is advised for interior foundation walls and rim joist cavities: foam-in-place insulation or foil faced rigid foam insulation board, cut-to-fit and caulked in place.

# Electrical

## Description of Electrical

Utility service:	overhead 115/230 volts
Main panel size:	1 panel – 100 amp service
age:	unknown
Main disconnect:	circuit breaker
shut-off location:	in basement
Distribution wiring:	circuit breakers with copper older non-metallic sheathed cable and some modern non-metallic plastic sheathed cable (Romex)wiring

## Electrical Observations

	<b>F</b>	<b>C</b>	<b>D</b>	
				F = Functional      C = Comment      D = Defect
Utility service	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	electric meter has been removed and the mast pipe isn't secured to the house -- repair by the electric utility company is recommended
Main panel:				
size/ampage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
grounding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
wiring	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	condition of the electrical system couldn't be fully evaluated because the electric meter has been removed and thus has no power throughout the house – further evaluation by a licensed contractor is recommended once power is restored to the main panel and throughout the house possible knob & tube wiring present and still in use
Outlets & fixtures:				
exterior	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	no electrical outlet at the exterior of the house
basement	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	missing cover plate(s) on electrical outlets/switches
attic	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	exposed electrical wires at the area where the ceiling has come down over the basement stairwell
Smoke/fire alarms:				
condition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	not functioning and more than 10 years old
location	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	install smoke/fire alarms in each bedroom to meet modern safety standards
power source	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	not functioning and more than 10 years old
Carbon monoxide detectors:				
location	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	none viewed -- carbon monoxide detectors are now required within 10 feet of all bedrooms and recommended on each level of the home (but not in the immediate area of the gas combustion appliances) for safety

## Limitations to Electrical Observations

- Condition of electrical wires that are concealed within walls, floors/ceilings and underground is unknown.
- Condition of the electrical system couldn't be fully evaluated because the electric meter has been removed and thus has no power throughout the house. Further evaluation by a licensed contractor is recommended once power is restored to the main panel and throughout the house.

# Plumbing

## Description of Plumbing

Main visible water pipe:	copper
Main water shut-off location:	in basement
Interior water pipes:	copper
Main visible waste pipe:	PVC plastic
Interior drain pipes:	PVC plastic
Water heater type & size:	1 natural gas storage tank – 50 gallons
age:	14 to 18 years
make/model:	A.O. Smith GCV 50 100
serial number:	AD040039853

## Plumbing Observations

	<u>F</u>	<u>C</u>	<u>D</u>	F = Functional	C = Comment	D = Defect
Public water supply:						
main pipe/equipment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			the water meter has been removed -- the water meter needs to be replaced by the water utility company
interior pipes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			open ended water pipe with no cap rusted pipes where steel straps are used to support the copper pipes -- copper pipes should only be supported with copper, brass or plastic some unsupported water supply piping the plumbing system couldn't be fully evaluated because the water meter has been removed and thus has no water throughout the house – further evaluation by a licensed contractor is recommended once the water meter has been replaced and water supply has been restored throughout the house
Public waste disposal:						
soil stack	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			not water tested -- see interior pipes notes above
drain & vent pipes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			dry drain traps -- potential sewer gas entry points not water tested -- see interior pipes notes above
floor drain	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			

## Natural gas supply:

Main interior gas shut-off location: in basement

Type of interior gas piping: black steel pipe and flexible copper

meter	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			the gas meter valve has been turned off and bolted closed the natural gas system couldn't be fully evaluated – further evaluation by a licensed contractor is recommended once natural gas supply is restored to the appliances
interior piping	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			the steel piping is very rusty -- further evaluation by a licensed contractor is recommended
appliance connections	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			the kitchen range is connected with unapproved brass flexible gas connector -- replacement with stainless steel flex piping or other approved gas supply line recommended -- repair by a licensed contractor recommended

# Plumbing cont.

## Water Heater Observations

	<u>F</u>	<u>C</u>	<u>D</u>	
				F = Functional      C = Comment      D = Defect
Storage tank	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	rusted -- tank replacement is recommended in lieu of any repair attempts
Vent pipe	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	rusted -- tank and vent connector replacement is recommended in lieu of any repair attempts
Operating controls	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	no gas supply to the tank and no water in the tank -- tank replacement is recommended in lieu of any repair attempts

**Water Heater Notes:** The water heater is in poor condition and has exceeded its expected service life (average is approximately 13 years). Tank replacement is recommended in lieu of any repair attempts.

## Limitations to Plumbing Observations

- Condition of underground sewage pipe is unknown and beyond the visual scope of this inspection. Main waste line video scope recommended to confirm condition.
- Condition of underground water supply pipe is unknown and is beyond the visual scope of this inspection.
- Condition of plumbing pipes that are concealed within finished walls and floors/ceilings is unknown.
- The interiors of flues or chimneys that are not readily accessible from the interior or while normally standing on the roof are not inspected. Chimney caps will not be removed and vent connector sections will not be disassembled. You are advised to have all chimney flues cleaned and evaluated by a qualified licensed chimney contractor.
- The plumbing system couldn't be fully evaluated because the water meter has been removed and thus has no water throughout the house. Further evaluation by a licensed contractor is recommended once the water meter has been replaced and water supply has been restored throughout the house.

# Mechanicals

## Description of Mechanical

Central heating type: 1 natural gas forced air furnace  
 age: 26 years  
 approx. size: 70,000 BTU input / 66,400 BTU output  
 make/model: Amana GUC070B30C  
 serial number: 9202134825  
 Central cooling type: no electric central air conditioning system

## Heating Observations

	<b>F</b>	<b>C</b>	<b>D</b>	F = Functional	C = Comment	D = Defect
Furnace:						
jacket	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
heat exchanger	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			not visible without system disassembly -- see Limitations section on the next page
exhaust fan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			the furnace couldn't be fully evaluated because the electricity and gas supply were off -- further evaluation by a licensed contractor is recommended once electricity and gas supply are restored
air blower	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			the furnace couldn't be fully evaluated because the electricity and gas supply were off -- further evaluation by a licensed contractor is recommended once electricity and gas supply are restored
operating controls	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			the furnace couldn't be fully evaluated because the electricity and gas supply were off -- further evaluation by a licensed contractor is recommended once electricity and gas supply are restored
Vent & flue pipes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			the PVC plastic vent piping has been patched with putty in the operating controls area
Electronic air cleaner	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			proper operation unknown because the furnace wasn't operable
Ductwork	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			the sheet metal is very rusty -- further evaluation by a licensed contractor is recommended the exterior fresh air inlet is connected directly to the furnace return air ductwork which is no longer approved -- the approved method now requires the air source vent to drape to the furnace room floor -- the primary concern with connecting the fresh air source to the furnace is that it wastes energy -- during the winter, this design pulls cold outdoor air into the air supply -- during the summer, the opposite happens -- moisture-filled outdoor air is pulled into the air supply just before the air conditioner evaporator coil which reduces the efficiency of the air-conditioning system -- this design can also cause the house to become pressurized as the furnace blower fan starts running -- when a home is pressurized, the air finds places to escape, such as the attic -- this can result in frost in the attic, or ice dams

**Furnace Notes:** The furnace wasn't operated at the time of the inspection because there was no electricity or natural gas supply to the house. The system is in poor condition and has exceeded its expected service life (average is approximately 17 to 20 years). Furnace replacement should be considered in lieu of repair attempts.

# Mechanicals cont.

## Limitations to Heating Observations

- Due to the design and limited visible area, the heating system heat exchanger and chimney is not visible in all areas. There is the potential of hidden concerns that are not visible and will not be documented in this report. It may be necessary for a qualified licensed heating contractor to remove burners and completely dismantle the heating system to make a failed heat exchanger evident. This VISUAL inspection has limitations because of heating system design. Block By Block Home Inspections Inc. will not be responsible for any or all non-visible cracks or cracks that develop in the heat exchanger. Certification of the heat exchanger is beyond the scope of this visual inspection.
- The interiors of flues or chimneys that are not readily accessible from the interior are not inspected. Chimney caps will not be removed and vent connector sections will not be disassembled. You are advised to have all chimney flues cleaned and evaluated by a qualified licensed chimney contractor.

## Description of Interior

Number of bedrooms: 2  
 Number of bathrooms: 2  
 Primary window type: double hung, slider & casement type with some insulated (thermal pane) glass and some single pane (not insulated) glass  
 Modifications to the structure: yes -- rear addition with crawl space

### Kitchen

	<u>F</u>	<u>C</u>	<u>D</u>	
Wall & ceiling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Floor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	damaged floor covering and floor isn't level -- see Structure notes on page 7
Window & door	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Outlets & fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	missing cover plate(s) on electrical outlets/switches
Heat	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	can't confirm -- there's supply register(s) present but the furnace wasn't operated during the inspection
Plumbing fixture	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not evaluated because water supply was off
Water flow	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not evaluated because water supply was off
Cabinets & countertops	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	damaged counter tops
Exhaust fan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	none

### Living / Dining

Wall & ceiling	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	a hole in the roof is allowing water intrusion at the left side of the house mold/mildew on walls and ceilings in several main level rooms -- proper clean-up by a qualified person is recommended COMMENT: the condition of the back side of the drywall/plaster and the wall studs isn't visible for inspection -- this is not an intrusive evaluation
Floor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	floors not level -- see Structure notes on page 7
Window & door	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	mold/mildew on wood window components -- proper clean-up by a qualified person is recommended crank handle missing at casement window
Outlets & fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	missing cover plate(s) on electrical outlets/switches
Heat	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	can't confirm -- there's supply register(s) present but the furnace wasn't operated during the inspection

# Interior cont.

## Bedrooms

	<u>F</u>	<u>C</u>	<u>D</u>	
Wall & ceiling	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	mold/mildew on walls and ceilings in several main level rooms -- proper clean-up by a qualified person is recommended COMMENT: the condition of the back side of the drywall/plaster and the wall studs isn't visible for inspection -- this is not an intrusive evaluation
Floor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	mold on the floor in the front bedroom -- proper clean-up by a qualified person is recommended
Window & door	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	the door won't close in the rear bedroom the windows won't open in the front bedroom the upper window sashes drop down when the windows are unlocked in the rear bedroom
Outlets & fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	missing cover plate(s) on electrical outlets/switches COMMENT: traditional lamp bases in the closet (front bedroom) -- light bulbs can get hot and without a proper protective globe can be a fire hazard -- proper protective globes or replacement with approved florescent type fixtures recommended
Heat	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	can't confirm -- there's supply register(s) present but the furnace wasn't operated during the inspection

## Bathrooms

Wall & ceiling	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	mold/mildew on walls and ceilings in both bathrooms -- proper clean-up by a qualified person is recommended COMMENT: the condition of the back side of the drywall/plaster and the wall studs isn't visible for inspection -- this is not an intrusive evaluation
Floor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	mold/mildew on the floor in the front bathroom -- proper clean-up by a qualified person is recommended COMMENT: damaged floor coverings in both bathrooms
Window & door	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	the door binds and won't close in both bathrooms
Outlets & fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	missing cover plate(s) on electrical outlets/switches
Heat	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	can't confirm -- there's supply register(s) present but the furnace wasn't operated during the inspection
Plumbing fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not evaluated because water supply was off handheld shower head in the front bathroom does not have a vacuum breaker or backflow prevention mechanism and shower head hangs below spill line of bath tub -- replacement with a standard shower head or handheld device with proper backflow preventer recommended
Water flow	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not evaluated because water supply was off
Cabinets & countertops	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	mold/mildew on the floor in both bathrooms -- proper clean-up by a qualified person is recommended
Ventilation fan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	installing ventilation fans that discharge to the exterior of the house is recommended



# Interior cont.

## Hallways / Entries

	<u>F</u>	<u>C</u>	<u>D</u>	
				F = Functional      C = Comment      D = Defect
Wall & ceiling	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	the ceiling in the basement stairwell has been removed or has fallen down and thus no insulation in this area -- ceiling repair and re-insulating the area is recommended
Floor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	floors not level and some damaged subfloor in the rear hallway
Window & door	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	window not operable in the laundry room
Outlets & fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	missing cover plate(s) on electrical outlets/switches
Stairs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	steep stairs (short treads / high rises) stair rise heights are uneven and/or high -- stair risers should not exceed 7 3/4" and should not vary from each other by more than 3/8" -- potential trip hazards handrail/guardrail configurations are missing or are below modern safety practices -- recommended safety improvements: 1) handrail ends do not return to the wall at the basement stairs 2) open stair risers at the basement stairs

## Limitations to Interior Observations

- Leaking insulated window glass seals (fogging and condensation between panes) may not be visible at time of inspection due to temperature conditions.
- Light fixtures and electrical outlets weren't fully evaluated because there was no power in the house at the time of the inspection.

## **Statement of Limitations**

The inspection was essentially visual, not technically exhaustive, and did not imply that every defect would be discovered. The project was based upon conditions that existed at the time of the inspection. The inspection excluded and did not intend to cover any and all components, items and conditions by nature of their location were concealed or otherwise difficult to inspect. There was no dismantling, destructive analysis, or technical testing of any component. Excluded were all cosmetic conditions such as carpeting, vinyl floors, wallpaper, and paint. The inspection covered only the listed items and was evaluated for function and safety, not code compliance. This was not intended to reflect the value of the premises and did not make any representation as to the advisability or inadvisability of purchase. Condominium evaluations include only those items located within the residential unit and does not include the common use and non-residential areas of the building.

### **THE INSPECTION DID NOT INCLUDE ANALYSIS OR TESTING OF ANY ENVIRONMENTAL HEALTH HAZARDS.**

No tests were conducted to determine the presence of air borne particles such as asbestos, noxious gases such as radon, formaldehyde, molds, mildews, toxic, carcinogenic or malodorous substances or other conditions of air quality that may have been present; nor conditions which may cause the above. No representations as to the existence or possible condition of lead paint, abandoned wells, private sewage systems, or underground fuel storage tanks were made. There were no representations as to any above or below ground pollutants, contaminants, or hazardous wastes. The quality of drinking water was excluded from this inspection.

### **THE INSPECTION DID NOT INCLUDE ANALYSIS OR TESTING FOR INSECTS AND VERMIN.**

No tests were conducted to determine the presence or absence of rodents and insect pests.

### **THE INSPECTION AND REPORT ARE NOT A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, OF THIS BUILDING OR ANY OF ITS COMPONENTS.**

The inspection and report are furnished on an "opinion only" basis. We assume no responsibility for the cost of repairing or replacing any unreported defects or conditions. This report is for the sole, confidential and exclusive use and possession of our client and no third party liability is assumed.

Brian Block  
Block By Block Home Inspections Inc.