INSPECTION REPORT

313 Webster St.
St. Paul, MN 55102

PREPARED FOR:
Ramsey County T.F.L. / Paul Scharf

PREPARED BY:

BLOCK BY BLOCK
Home Inspections, Inc.
1800 Heifort Court
Stillwater, MN 55082
Tel (651) 439-6152
www.blockbyblockinc.com

CERTIFIED INSPECTOR

September 12, 2014

Property Address: 313 Webster St.
St. Paul, MN 55102

Client: Ramsey County T.F.L. / Paul Scharf

At your request, Block By Block Home Inspections Inc. conducted a home inspection of the residential property located at 313 Webster St. in St. Paul, MN on September 9, 2014. Brian Block performed all the fieldwork related to this project.

The purpose of this project was to observe the physical condition of the building. The intent was to identify defects or conditions that adversely affected the structure and its components. This report contains the results of the inspection.

These definitions were used in the report:

Functional - The component was performing its intended function; Installation and condition are appropriate for age and use.

Comment - The component could not be adequately evaluated or had a deficiency insufficient to be deemed defective. Item conditions that are below current building standards, but were typical of the era of house being inspected, will often times be classified as “Comment” items, especially if no adverse effects are outwardly visible. You should consider repair/replacement of comment items or at least monitor the components for signs of future adverse effects. This category may also include items that could be upgraded to current standards as safety improvements, deferred maintenance or simply provide information about a component.

Defect - The component was not performing its intended function and requires repair or replacement or any other item that, in the opinion of the inspector, should have attention in the very near future and/or before closing.

The inspection was essentially visual. There was no destructive analysis or technical testing of any building component. The project excluded all environmental health hazards and insect and vermin infestation. There was not a warranty of this building or any of its components, expressed or implied, by this project. Please refer to our statement of limitations on the last page of this report.

Block By Block Home Inspections Inc. follows the home inspection protocol described in the American Society of Home Inspectors “The Standards of Practice and Code of Ethics”. A copy of these documents is available from your inspector or online at www.ashi.org.

Exterior

Description of Exterior

Location and topography:	suburban with a relatively flat site
Weather conditions:	cloudy – 68 degrees
Time of inspection:	September 9, 2014 11:00 am to 12:30 pm
Ground conditions:	damp
Type of building:	two-story single family home
Type of garage:	double detached
Age of building:	approximately 122 years
Direction of house:	descriptions based on facing the front entry door; front entry door faces east

Yard Observations

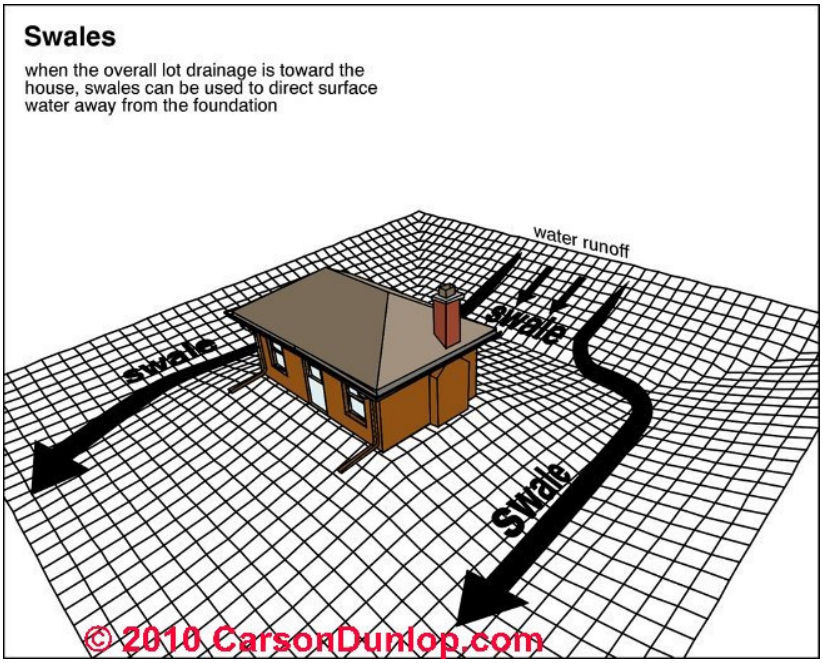
	F	C	D	F = Functional C = Comment D = Defect
Grading & drainage:				
front	☐	☒	☐	flat grading -- grading/drainage improvements recommended -- see Yard Notes below and illustration(s) on the next page
right side	☐	☒	☐	flat grading -- grading/drainage improvements recommended -- see Yard Notes below and illustration(s) on the next page
rear	☐	☒	☐	flat grading -- grading/drainage improvements recommended -- see Yard Notes below and illustration(s) on the next page
left side	☐	☒	☐	low areas near the foundation -- grading/drainage improvements recommended -- see Yard Notes below and illustration(s) on the next page
Hard surfaces:				
sidewalk	☐	☒	☐	cracked/settled -- potential trip hazards
steps	☒	☐	☐	
driveway	☐	☒	☐	cracked/settled/chipped/spalled concrete

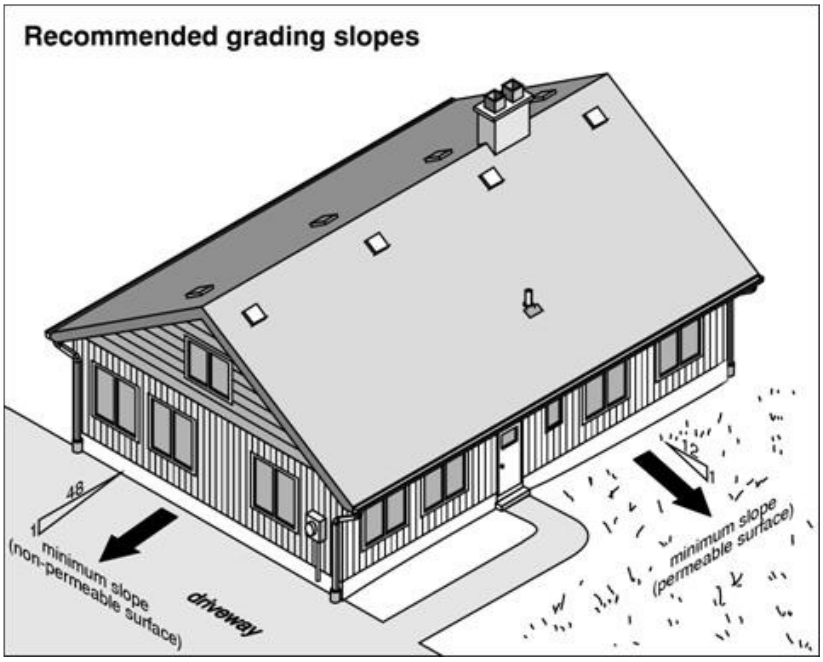
Limitations to Yard Observations

- None

Yard Notes: Earth grade should slope away from the foundation of the house at a rate of 1" per foot for the first 8 feet. The lot should then allow for drainage off the site to the street or other designated drainage area. Hard surfaces such as driveways, patios, sidewalks, steps and decks should also slope slightly away from house foundation (1/8" to 1/4" per foot). Improvements in these areas will help minimize soil/water pressure against foundation walls and the potential for seepage into basement. See illustrations on the next page.

Exterior cont.





Exterior cont.

Garage Observations

	F	C	D	F = Functional C = Comment D = Defect
Walls, floor & ceiling:				
structure	☐	☒	☐	removing tree(s) growing next to the garage foundation (rear) is recommended mouse activity -- droppings, chewed insulation and tunnels in insulation
siding / trim	☐	☒	☐	areas of damaged (and melted) vinyl siding
window	☒	☐	☐	
floor slab	☐	☒	☐	cracked/settled concrete slab
Doors:				
overhead door	☐	☐	☐	
automatic opener	☐	☒	☐	not operated (no power to house or garage) the automatic opener is not equipped with auto-reverse photo-electric eye sensors (missing safety feature found on newer equipment) -- replacement with newer automatic opener with all modern safety features recommended for safety -- the door does reverse during a contact door reversal test
yard service door	☐	☒	☐	door is screwed shut and was not operated
Roof:				
structure	☐	☒	☐	cut/modified roof framing to accommodate automatic door opener track assembly -- monitor -- future structural repair/reinforcement may be required
covering	☐	☐	☒	curling/clawing shingles, granule loss, and some broken shingle tabs -- shingles appear to be Certainteed brand or another organic based shingle which has been recognized as a material problem with premature failure -- shingle evaluation for repair/replacement by a licensed roofing contractor is recommended tree branches hanging on roof -- trim branches well away from the roof as part of regular maintenance

Limitations to Garage Observations

- There is no power to the house or garage. A contact door reversal test was not performed on the overhead garage door. A contact door reversal test should be performed by a trained door systems technician for safety.

Exterior cont.

Exterior Building Observations

F = Functional C = Comment D = Defect

	F	C	D	
Foundation	☐	☒	☐	not visible for evaluation -- foundation is covered with concrete masonary product
Walls:				
structure	☒	☐	☐	
siding / trim	☐	☒	☐	landscaping vegetation is contacting siding -- trimming or removing bushes/trees away from the house is recommended
flashing & caulking	☐	☒	☐	improper flashing at the roof to wall connection where the front porch connects to the house -- potential moisture entry point no visible step flashings installed at some roof to wall connections -- areas have been covered/sealed with caulking -- if there is no flashing there is a higher potential for moisture intrusion -- monitor -- keep caulking in excellent condition
Windows:				
basement	☐	☒	☐	several windows not visible because of wood window well covers
main	☐	☐	☒	broken window is boarded up at the left side of the house COMMENT: loose metal cladding around some windows exposing the wood window trim
screens	☐	☒	☐	screens are generally in poor condition (torn screens, bent frames, missing components, etc.)
Entry doors	☐	☒	☐	the left side entry door is screwed shut -- not operated/evaluated

Limitations to Building Observations

- Leaking insulated window glass seals (fogging and condensation between panes) may not be visible at time of inspection due to temperature conditions.
- Exterior foundation observations are limited to above grade visible area only.

Roof and Chimney Observations

Roof shingles:	asphalt composition (standard 3-tab type) / synthetic rubber membrane on the low slope portion
Number of layers:	1
Approximate age:	unknown
Roof flashing:	metal
Method used to view roof:	walked on roof at front porch / the rest of the roof was viewed from ground and roof edge for safety (steep pitch)

F = Functional C = Comment D = Defect

	F	C	D	
Roof:				
slope & style	☐	☒	☐	
covering	☒	☐	☐	
flashing	☐	☐	☒	gaps and holes (animal chewed) in the metal flashing around the masonry chimney -- moisture entry points improper flashing at the roof to wall connection where the front porch connects to the house -- potential moisture entry point
Roof penetrations:				
chimney	☐	☒	☐	no visible mortar cap at the top of the chimney -- chimneys should have a sloped cap to promote proper watershed some brick spalling and mortar deterioration -- monitor and repair as needed
furnace/water heater vent pipe	☐	☒	☐	installation of an animal-proof rain cap is recommended in lieu of the broken open sided cap that is currently installed
plumbing vent pipes	☒	☐	☐	
Overhangs:				
soffit & fascia	☐	☐	☒	decayed soffit and fascia -- birds living in overhangs loose metal cladding
gutter & downspout	☐	☐	☒	filled with tree debris, no downspout extensions, damaged/dented, improper slope, etc.-- keep gutters clean and downspouts/extensions well connected as part of regular maintenance -- correct gutter and downspout performance is very important to promote proper drainage away from foundation and to minimize the potential for basement seepage and pressure against foundation walls although gutters and downspouts are not mandatory, a properly installed and well maintained system is good for the health of the house promoting proper drainage away from the house foundation -- gutter and downspout installation is recommended in areas where they are not currently installed -- this will minimize soil pressure against foundation walls, the potential for seepage into the basement and reduce drip line splash against the foundation, siding and windows

Limitations to Roof Observations

- It is virtually impossible to detect a roof leak except as it is occurring or by specific water tests, which are beyond the scope of this inspection.
- Some roofing components viewed from ground for safety reasons (steep pitch / high elevation). Binoculars are utilized to improve visibility but evaluations of roofing components are limited.

Structure

Description of Structure

Foundation:	concrete block with full basement
Floor systems:	wood frame joists (2" x 8") with wood plank sub floors
Support walls:	wood framed with stucco siding
Attic:	wood framed system
Method used to view attic:	no attic access (knee wall only)

Structural Observations

F = Functional C = Comment D = Defect

	F	C	D	
Stairs	☐	☒	☐	some decay at the wood stair structure -- monitor closely and repair as needed
Foundation:				
walls	☐	☐	☒	loose stones above the window by the basement stairwell -- foundation repair by a licensed contractor or other qualified individual recommended COMMENT: spalled/loose concrete mortar in many areas
concrete slab	☐	☒	☐	not level -- cracks and heaving in some areas
moisture	☐	☐	☒	dampness and efflorescence in several areas (damp at the time of the inspection) -- exterior grading/drainage improvements recommended mold/mildew in several areas (on the underside of the main level floor (joists and subfloor), index label in the main electric panel, etc.) -- proper mold clean-up is recommended -- mold clean-up should be performed by a qualified individual
Floors & walls:				
joists & sub floor	☐	☒	☐	floors throughout the house are not level
walls	☒	☐	☐	
posts & beams	☐	☐	☒	part of the post and beam structure has fallen down and part is leaning (under the front of the house) -- repairs by a licensed contractor recommended COMMENTS: temporary type support posts installed in the basement and some notched beams-- monitor -- future structural repairs may be required
moisture	☐	☒	☐	walls are plaster/drywall finished and this is not an intrusive evaluation -- see Structure Notes below
Roof / attic:				
rafters & sheathing	☐	☒	☐	the majority of the attic space is not visible/accessible for evaluation
chimney	☐	☒	☐	the majority of the attic space is not visible/accessible for evaluation
moisture	☐	☒	☐	the majority of the attic space is not visible/accessible for evaluation

Limitations to Structural Observations

- Main and upper level walls are drywall finished so the condition of the framing members in those finished areas is unknown.
- Evaluation of foundation walls and concrete slab is limited because 60% of basement level is finished living space with finished walls and floor coverings.
- Attic space is not accessible/visible in most areas -- did not fully evaluate attic/roof structure.

Structure cont.

Structure Notes: We look for signs of hidden water damage, or the potential for damage. HOWEVER, damage can exist without readily visible signs. This visual inspection is NOT a moisture intrusion or mold inspection. A specialist in moisture intrusion and technically exhaustive wall cavity testing should be consulted if you have concerns regarding this property. Also, check the house quarterly for stains, cracks or other signs of hidden water damage, especially below windows and roof-wall joints.

Insulation

Insulation Observations

	F	C	D	
				F = Functional C = Comment D = Defect
Foundation exterior	☐	☒	☐	none
Basement interior	☐	☒	☐	none
Wall	☐	☒	☐	not visible -- all walls are finished
Attic	☐	☒	☐	minimal insulation and ventilation but typical of the era of the house -- attic spaces that are lacking adequate insulation and ventilation are prone to ice dam activity and heat loss from the house into the attic (higher energy bills) -- additional insulation, ventilation (roof vents and soffit vents) and sealing off attic bypass points (the attic access panel, areas where bath fans, can lights, electrical wires and plumbing pipes enter the attic space) can minimize the potential for ice dams, condensation and potential mold/mildew growth, and lower energy bills -- a professional energy audit could help identify areas to improve

type: fiberglass
depth: 3.5 inches
ventilation: no

Limitations to Insulation Observations

- Main and upper level walls are finished so the type, depth and condition or presence of insulation is unknown.
- There is no accessible attic space at the peak of the roof. The attic was not evaluated to determine the type and depth of insulation, the presence or absence of a vapor barrier, or the presence of adequate ventilation.

General Insulation Notes: Interior foundation (basement wall) insulation, common in modern homes, is not recommended. It is difficult to control moisture and water vapor in an interior insulated foundation. Exterior foundation insulation is advised. Interior finish on foundation walls may be successful if NOT insulated using common methods. Check interior insulated basements often for signs of dampness. Also, unfaced fiberglass insulation in rim joists cavities may lead to condensation and deterioration on the rim joist framing. Alternate type insulation is advised for interior foundation walls and rim joist cavities: foam-in-place insulation or foil faced rigid foam insulation board, cut-to-fit and caulked in place.

Electrical

Description of Electrical

Utility service:	overhead 115/230 volts
Main panel size:	1 panel – 100 amp service
age:	unknown
Main disconnect:	circuit breaker with aluminum entrance wires
shut-off location:	in basement
Distribution wiring:	circuit breakers with copper non-metallic sheathed cable (Romex), metal conduit and some old cloth wrapped wiring

Electrical Observations

F = Functional C = Comment D = Defect

	F	C	D	
Utility service	☐	☐	☒	the overhead ground wire has been cut by the weather head -- repair by an electrical utility company representative is recommended there is no electricity into the main electrical panel -- repair by an electrical utility company representative is recommended
Main panel:				
size/amperage	☒	☐	☐	
condition	☐	☒	☐	rust inside the panel
grounding	☒	☐	☐	
wiring	☐	☐	☒	undersized (14 AWG copper) wiring connected into a 30 amp circuit breaker (#12) -- potential fire hazard -- replacing 30 amp breaker with a 15 amp breaker or replacing 14 AWG copper wiring with 10 AWG copper wiring is recommended -- repair by a licensed contractor or other qualified individual is recommended COMMENTS: air conditioner connected to 30 amp circuit breaker in main electrical panel -- exterior A/C condenser name/data tag labeled as 20 amp maximum overcurrent protection -- replacement of circuit breaker by a licensed electrical contractor or other qualified individual is recommended to meet manufacturer's installation specifications some NOT-in-use knob & tube type wiring components observed in the basement (porcelain sleeves and bases) -- although no active "hot" knob & tube wiring was observed in the house, it is possible that some may be in-use in non-visible areas -- knob & tube wiring is considered hazardous by some electrical professionals
Outlets & fixtures:				
garage	☐	☐	☒	missing cover plate on electrical outlet/switch exposed electrical splices -- splices should be made with proper connectors within covered junction boxes missing/improper weather proof outlet covers at the exterior of the garage COMMENTS: unprofessional wiring in the garage extension cord(s) used as permanent wiring
basement	☐	☐	☒	missing cover plates on electrical junction boxes and exposed electrical splices -- splices should be made with proper connectors within covered junction boxes

Electrical cont.

	F	C	D	
	F	**C**	**D**	F = Functional C = Comment D = Defect
Smoke/fire alarms:				
condition	☐	☐	☒	some old and non functioning detectors -- installing new detectors on each level and in each bedroom is recommended
location	☐	☐	☒	not properly located -- detectors are required on each level of the home and in each bedroom
power source	☐	☒	☐	battery powered -- monitor/test regularly (some locations) -- St. Paul requires at least one hard-wired detector in the house
Carbon monoxide detectors:				
location	☐	☐	☒	none viewed -- carbon monoxide detectors are now required within 10 feet of all bedrooms and recommended on each level of the home (but not in the immediate area of the gas combustion appliances) for safety

Electrical Notes: Several light fixtures throughout the house did not operate (some damaged) when tested (possibly burned-out bulbs but not confirmed).

Limitations to Electrical Observations

- Condition of electrical wires that are concealed within walls, floors/ceilings and underground is unknown.

Plumbing

Description of Plumbing

Main visible water pipe:	copper
Main water shut-off location:	in basement
Interior water pipes:	copper
Main visible waste pipe:	iron
Interior drain pipes:	iron, galvanized steel, PVC plastic
Water heater type & size:	1 natural gas storage tank – 40 gallons
age:	10 years
make/model:	Richmond 9G40S-40F
serial number:	RMLN0904532932

Plumbing Observations

F = Functional C = Comment D = Defect

	F	C	D	
Public water supply:				
main pipe/equipment	☐	☐	☒	the main water valve has been turned off and all plumbing fixtures have been winterized -- the systems and equipment utilizing water flow were not fully evaluated
interior pipes	☐	☐	☒	some splits (freeze damage) in the copper water supply pipes -- water is not on in the building -- full plumbing system evaluation for repairs by a licensed contractor recommended
Public waste disposal:				
soil stack	☒	☐	☐	
drain & vent pipes	☐	☒	☐	unapproved rubber couplings installed at several drain/waste/vent piping connections -- replacement with approved steel banded couplings is recommended
floor drain	☐	☐	☒	drain is obstructed with debris -- drain should be cleaned/evaluated to ensure that water will drain once the cleanout plug is installed missing cleanout access plug in the floor drain -- potential sewer gas entry point -- installation of a proper plug to seal opening is recommended

Natural gas supply:

Type of interior gas piping: black steel pipe

meter	☐	☐	☒	the gas supply valve is turned off at the meter and bolted closed -- supply should be turned on (and natural gas system evaluated) by a licensed contractor or gas utility company representative
appliance connections	☐	☐	☒	open ended (not capped) gas lines where the clothes dryer, water heater (basement) and kitchen range were previously installed -- gas lines must be properly capped/sealed until appliances are installed gas lines/pipes have been disconnected from the water heater and furnace

Plumbing cont.

Water Heater Observations

	F	C	D	F = Functional C = Comment D = Defect
Storage tanks	☐	☐	☒	damaged units (gas valve system removed) -- tank replacement is needed
Vent pipes	☒	☐	☐	
Operating controls	☐	☐	☒	damaged units (gas valve system removed) -- tank replacement is needed

Limitations to Plumbing Observations

- Condition of underground sewage pipe is unknown and beyond the visual scope of this inspection. Main waste line video scope recommended to confirm condition.
- Condition of underground water supply pipe is unknown and is beyond the visual scope of this inspection.
- Condition of plumbing pipes that are concealed within finished walls and floors/ceilings is unknown.
- The interiors of flues or chimneys that are not readily accessible from the interior or while normally standing on the roof are not inspected. Chimney caps will not be removed and vent connector sections will not be disassembled. You are advised to have all chimney flues cleaned and evaluated by a qualified licensed chimney contractor.
- The water service has been turned off and all plumbing fixtures have been winterized. The systems and equipment utilizing water flow were not fully evaluated.

Mechanicals

Description of Mechanicals

Central heating type:	1 natural gas forced air furnace
age:	7 years
approx. size:	70,000 BTU
make/model:	Amana GMH80703ANAB
serial number:	0706666932
Central cooling type:	1 electric central air conditioner
age:	6 years
approx. size:	2 ton system
make/model:	Goodman GSC140241AC
serial number:	0803202435

Heating Observations

F = Functional C = Comment D = Defect

	F	C	D	
Furnace:				
jacket	☐	☐	☒	damaged and old -- furnace replacement is needed
heat exchanger	☐	☒	☐	not visible without system disassembly -- see Limitations section below
exhaust fan	☐	☐	☒	damaged unit -- furnace replacement is needed
air blower	☐	☐	☒	damaged unit -- furnace replacement is needed
operating controls	☐	☐	☒	damaged unit (control board has been removed) -- furnace replacement is needed
Vent pipe	☐	☒	☐	appeared functional but unit was not operated/operable
Air filter	☐	☐	☒	damaged unit -- furnace replacement is needed
Ductwork	☐	☐	☒	ductwork should be evaluated by a licensed HVAC tech to determine the adequacy of the system when the furnace is being replaced

Limitations to Heating Observations

- Due to the design and limited visible area, the heating system heat exchanger and chimney is not visible in all areas. There is the potential of hidden concerns that are not visible and will not be documented in this report. It may be necessary for a qualified licensed heating contractor to remove burners and completely dismantle the heating system to make a failed heat exchanger evident. This VISUAL inspection has limitations because of heating system design. Block By Block Home Inspections Inc. will not be responsible for any or all non-visible cracks or cracks that develop in the heat exchanger. Certification of the heat exchanger is beyond the scope of this visual inspection.
- The interiors of flues or chimneys that are not readily accessible from the interior or while normally standing on the roof are not inspected. Chimney caps will not be removed and vent connector sections will not be disassembled. You are advised to have all chimney flues cleaned and evaluated by a qualified licensed chimney contractor.

Cooling Observations

	F	C	D	
Interior components:				
evaporator coil	☐	☒	☐	not visible without system disassembly -- see Limitations section below
condensate tray	☐	☒	☐	not visible without system disassembly -- see Limitations section below
drain line	☒	☐	☐	
Exterior condenser:				
location	☒	☐	☐	
compressor	☐	☒	☐	system was not operated/fully evaluated (no power)
exterior coil	☐	☒	☐	keep aluminum fins clean as part of regular maintenance for better efficiency and system longevity
fan	☐	☒	☐	system was not operated/fully evaluated (no power)
refrigerant pipes	☒	☐	☐	
Exterior power disconnect	☒	☐	☐	

F = Functional C = Comment D = Defect

Limitations to Cooling Observations

- Interior evaporator coil and condensate tray are not visible for evaluation without plenum ductwork disassembly.

Interior

Description of Interior

Number of bedrooms: 3
Number of bathrooms: 2
Primary window type: double hung and slider type with insulated (thermal pane) glass

Kitchen

F = Functional C = Comment D = Defect

	F	C	D	
Wall & ceiling	☐	☐	☒	water damaged ceiling -- damaged area is below the upper level shower and tub area
Floor	☐	☒	☐	floors not level -- see Structure page
Window & door	☒	☐	☐	
Outlets & fixtures	☒	☐	☐	
Heat	☐	☒	☐	not operated/evaluated -- heating system was not operable
Plumbing fixture	☐	☐	☒	improper drain pipe configuration below the sink -- potential sewer gas entry point -- repair by a licensed contractor recommended COMMENT: unapproved flex drain pipe assembly installed beneath kitchen sink -- flex drain pipes are prone to clogging and leakage -- replacement with rigid drain piping recommended not operated/evaluated -- plumbing system was winterized
Water flow	☐	☒	☐	not operated/evaluated -- plumbing system was winterized
Cabinets & countertops	☒	☐	☐	

Living / Dining

	F	C	D	
Wall & ceiling	☐	☒	☐	cracks in plaster walls and ceilings
Floor	☐	☒	☐	floors not level -- see Structure page
Window & door	☐	☐	☒	broken window is boarded up in the dining room
Outlets & fixtures	☐	☒	☐	
Heat	☐	☒	☐	not operated/evaluated -- heating system was not operable

Bedrooms

	F	C	D	
Wall & ceiling	☐	☐	☒	mold/mildew on the walls and woodwork -- proper mold clean-up is recommended -- mold clean-up should be performed by a qualified individual COMMENT: cracks in plaster walls and ceilings -- peeling paint on the ceiling in the front bedroom
Floor	☐	☒	☐	floors not level -- see Structure page
Window & door	☐	☒	☐	F.Y.I. -- the bedroom windows do not meet modern requirements for proper egress (the windows may be more than 44" above the floor or have less than 5.7 sq. ft. of open space when window is opened) -- typical for the era of the house
Outlets & fixtures	☐	☐	☒	missing cover plates on outlets/switches
Heat	☐	☒	☐	not operated/evaluated -- heating system was not operable

Interior cont.

Bathrooms

	F	C	D	F = Functional C = Comment D = Defect
Wall & ceiling	☐	☐	☒	unsanitary conditions in both bathrooms -- mold/mildew in toilets, tub, shower, sink, etc.
Floor	☐	☒	☐	floors not level -- see Structure page
Window & door	☒	☐	☐	
Outlets & fixtures	☐	☐	☒	exposed wiring on the ceiling and missing cover plates on outlets/switches in the upper level bathroom
Heat	☐	☒	☐	not operated/evaluated -- heating system was not operable
Plumbing fixtures	☐	☐	☒	incomplete plumbing work (tub, etc.) in the upper level bathroom (uncapped drain piping at the tub) -- completion/repair by a licensed contractor recommended COMMENT: unapproved flex drain pipe assembly installed beneath main level bathroom sink -- flex drain pipes are prone to clogging and leakage -- replacement with rigid drain piping recommended not operated/evaluated -- plumbing system was winterized
Water flow	☐	☒	☐	not operated/evaluated -- plumbing system was winterized
Cabinets & countertops	☒	☐	☐	

Hallways / Entries

Wall & ceiling	☐	☒	☐	wall is cut open for bathroom plumbing work in the upper level stairwell damaged drywall/plaster in the upper level hallway
Floor	☐	☒	☐	floors not level -- see Structure page
Window & door	☒	☐	☐	
Outlets & fixtures	☐	☒	☐	unprotected unprofessional non-metallic cable electrical wiring on the ceiling in the front porch
Stairs	☐	☐	☒	no handrail in the upper level stairwell COMMENTS: the stairs to the upper level are not level low headroom (less than 6' 8") in both stairwells

Limitations to Interior Observations

- Leaking insulated window glass seals (fogging and condensation between panes) may not be visible at time of inspection due to temperature conditions.

Statement of Limitations

The inspection was essentially visual, not technically exhaustive, and did not imply that every defect would be discovered. The project was based upon conditions that existed at the time of the inspection. The inspection excluded and did not intend to cover any and all components, items and conditions by nature of their location were concealed or otherwise difficult to inspect. There was no dismantling, destructive analysis, or technical testing of any component. Excluded were all cosmetic conditions such as carpeting, vinyl floors, wallpaper, and paint. The inspection covered only the listed items and was evaluated for function and safety, not code compliance. This was not intended to reflect the value of the premises and did not make any representation as to the advisability or inadvisability of purchase.

THE INSPECTION DID NOT INCLUDE ANALYSIS OR TESTING OF ANY ENVIRONMENTAL HEALTH HAZARDS. No tests were conducted to determine the presence of air borne particles such as asbestos, noxious gases such as radon, formaldehyde, molds, mildews, toxic, carcinogenic or malodorous substances or other conditions of air quality that may have been present; nor conditions which may cause the above. No representations as to the existence or possible condition of lead paint, abandoned wells, private sewage systems, or underground fuel storage tanks were made. There were no representations as to any above or below ground pollutants, contaminates, or hazardous wastes. The quality of drinking water was excluded from this inspection.

THE INSPECTION DID NOT INCLUDE ANALYSIS OR TESTING FOR INSECTS AND VERMIN. No tests were conducted to determine the presence or absence of rodents and insect pests.

THE INSPECTION AND REPORT ARE NOT A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, OF THIS BUILDING OR ANY OF ITS COMPONENTS. The inspection and report are furnished on an “opinion only” basis. We assume no responsibility for the cost of repairing or replacing any unreported defects or conditions. This report is for the sole, confidential and exclusive use and possession of our client and no third party liability is assumed.

Brian Block
Block By Block Home Inspections Inc.