

# INSPECTION REPORT

565 Mendota St.  
St. Paul, MN 55106

**PREPARED FOR:**  
Ramsey County T.F.L. / Paul Scharf



**PREPARED BY:**

**BLOCK BY BLOCK**  
**Home Inspections, Inc.**

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CERTIFIED INSPECTOR

September 5, 2014

Property Address: 565 Mendota St.  
St. Paul, MN 55106

Client: Ramsey County T.F.L.  
Paul Scharf

At your request, Block By Block Home Inspections Inc. conducted a home inspection of the residential property located at 565 Mendota St. in St. Paul, MN on September 3, 2014. Brian Block performed all the fieldwork related to this project.

The purpose of this project was to observe the physical condition of the building. The intent was to identify defects or conditions that adversely affected the structure and its components. This report contains the results of the inspection.

These definitions were used in the report:

- |              |   |
|--------------|---|
| Functional - | The component was performing its intended function; Installation and condition are appropriate for age and use.   |
| Comment -    | The component could not be adequately evaluated or had a deficiency insufficient to be deemed defective. Item conditions that are below current building standards, but were typical of the era of house being inspected, will often times be classified as "Comment" items, especially if no adverse effects are outwardly visible. You should consider repair/replacement of comment items or at least monitor the components for signs of future adverse effects. This category may also include items that could be upgraded to current standards as safety improvements, deferred maintenance or simply provide information about a component. |
| Defect -     | The component was not performing its intended function and requires repair or replacement or any other item that, in the opinion of the inspector, should have attention in the very near future and/or before closing.   |

The inspection was essentially visual. There was no destructive analysis or technical testing of any building component. The project excluded all environmental health hazards and insect and vermin infestation. There was not a warranty of this building or any of its components, expressed or implied, by this project. Please refer to our statement of limitations on the last page of this report.

Block By Block Home Inspections Inc. follows the home inspection protocol described in the American Society of Home Inspectors "The Standards of Practice and Code of Ethics". A copy of these documents is available from your inspector or online at [www.ashi.org](http://www.ashi.org).

# Exterior

## Description of Exterior

Location and topography:	suburban with a relatively flat site
Weather conditions:	cloudy and raining – 63 degrees
Time of inspection:	September 3, 2014 9:00 am to 12:00 pm
Ground conditions:	wet
Type of building:	two-story single family home
Type of garage:	none
Age of building:	approximately 103 years
Direction of house:	descriptions based on facing the front entry door; front entry door faces east

## Yard Observations

	<u>F</u>	<u>C</u>	<u>D</u>	F = Functional	C = Comment	D = Defect
Grading & drainage:						
front	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	low areas near the foundation -- grading/drainage improvements recommended -- see Yard Notes below and illustration(s) on the next page		
right side	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	flat grading -- grading/drainage improvements recommended -- see Yard Notes below and illustration(s) on the next page		
rear	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	flat grading -- grading/drainage improvements recommended -- see Yard Notes below and illustration(s) on the next page		
left side	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	low areas near the foundation -- grading/drainage improvements recommended -- see Yard Notes below and illustration(s) on the next page		
Hard surfaces:						
sidewalk	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	cracked and slightly settled concrete sidewalk at the front of the house -- the sidewalk does not slope away from the house foundation in all areas -- see Yard Notes below and illustration(s) on the next page		
steps	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	damaged and decayed front entry steps -- potentially unsafe		

## Limitations to Yard Observations

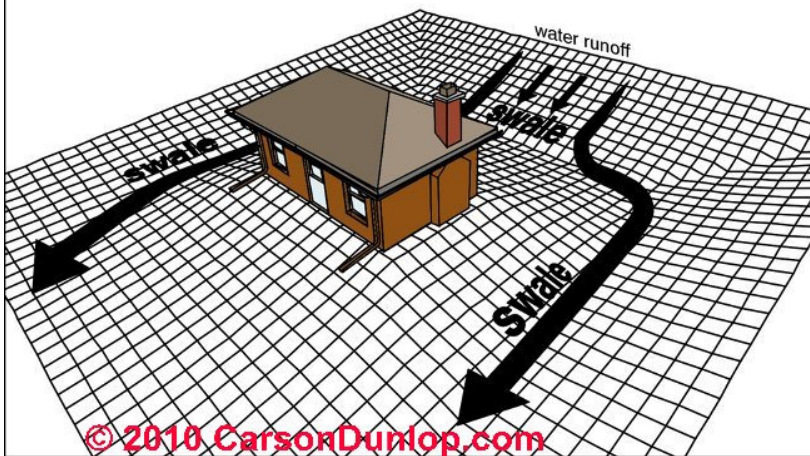
- Fences are not evaluated as part of this inspection.

**Yard Notes:** Earth grade should slope away from the foundation of the house at a rate of 1" per foot for the first 8 feet. The lot should then allow for drainage off the site to the street or other designated drainage area. Hard surfaces such as driveways, patios, sidewalks, steps and decks should also slope slightly away from house foundation (1/8" to 1/4" per foot). Improvements in these areas will help minimize soil/water pressure against foundation walls and the potential for seepage into basement. See illustrations on the next page.

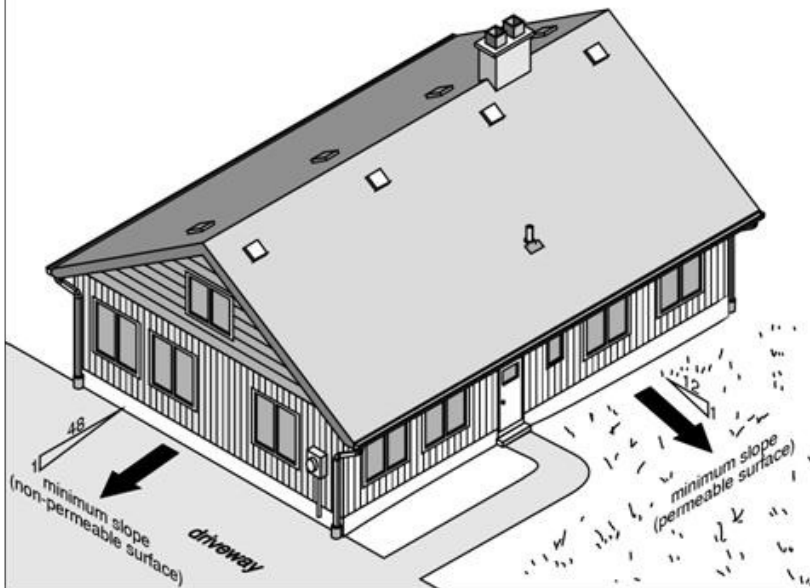
## Exterior cont.

### Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



### Recommended grading slopes



# Exterior cont.

## Exterior Building Observations

	<u>F</u>	<u>C</u>	<u>D</u>	F = Functional      C = Comment      D = Defect
Foundation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	minor cracking/chipping/spalling in some areas -- patching/sealing the areas is recommended
Walls:				
structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
siding / trim	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	landscaping vegetation is contacting siding -- trimming or removing bushes/trees well away from the house is recommended peeling paint in several areas on the fiber cement siding -- some damaged areas some peeling paint and minor decay at the wood lap siding at the front of the house
flashing & caulking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows:				
basement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
main	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	chipped (small hole) in one window (left side dining room) from a BB gun -- the windows are double pane thermal glass and the hole is only in the outer pane -- window will likely fog up between panes of glass in winter the windows are primarily wrapped with aluminum cladding and are low/no maintenance but there are some small areas around windows that have exposed wood with chipped/peeling paint
screens	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	broken glass at one combination storm/screen at the left side of the house and one at the rear of the house COMMENT: not all screens are installed -- the quantity and condition of uninstalled screens is not evaluated
Entry doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	damaged front entry door jamb -- evidence of previous forced entry the right (north) side entry door and rear entry doors are screwed shut and were not operated/evaluated during the inspection
Deck / porch	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	damaged and decayed front entry steps -- potentially unsafe

## Limitations to Building Observations

- Leaking insulated window glass seals (fogging and condensation between panes) may not be visible at time of inspection due to temperature conditions.
- Exterior foundation observations are limited to above grade visible area only.
- The deck / porch footings are below ground and proper frostline footings can not be confirmed.
- The deck / porch structure (underside) was not fully visible for evaluation because of lattice material installed around the perimeter.
- The right (north) side entry door and rear entry doors are screwed shut and were not operated/evaluated during the inspection.

# Exterior cont.

## Roof and Chimney Observations

Roof shingles: asphalt composition (standard 3-tab type)  
 Number of layers: 1  
 Approximate age: unknown  
 Roof flashing: metal  
 Method used to view roof: from ground and upper level windows for safety (steep pitch)

	<b>F</b>	<b>C</b>	<b>D</b>	F = Functional	C = Comment	D = Defect
Roof:						
slope & style	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
covering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
flashing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
Roof penetrations:						
chimney	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		no sloped concrete/mortar cap visible at the top of the chimney -- installing a proper cap is advised to allow water to shed off of the chimney for masonry longevity	
water heater vent pipe	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		installation of an animal-proof rain cap is recommended at the top of the vent pipe	
plumbing vent pipes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
attic ventilation caps	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
ventilation / exhaust fan caps	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
Overhangs:						
soffit & fascia	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
gutter & downspout	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		no downspout connected to the gutter at the front left corner of the house	
					COMMENTS: downspout extensions disconnected or missing -- installing extensions to shed water well away from the foundation is recommended	
					the downspout at the right rear corner of the house sheds onto the flat roof at the rear of the house (rather than through the roof to the next section of downspout) causing water to run down the side of the house -- not recommended -- continuing the downspout down to the ground is recommended	
					gutters/downspouts are partially obstructed with tree debris -- keep gutters clean and downspouts/extensions well connected as part of regular maintenance -- correct gutter and downspout performance is very important to promote proper drainage away from foundation and to minimize the potential for basement seepage and pressure against foundation walls	

## Limitations to Roof Observations

- It is virtually impossible to detect a roof leak except as it is occurring or by specific water tests, which are beyond the scope of this inspection.
- Roofing components viewed from ground and upper level windows for safety reasons (steep pitch / high elevation). Binoculars are utilized to improve visibility but evaluations of roofing components are limited.

# Structure

## Description of Structure

Foundation: concrete block with full basement  
 Floor systems: wood frame joists (2" x 8") with wood plank sub floors  
 Support walls: wood framed with fiber cement and wood lap siding  
 Attic: wood framed system  
 Method used to view attic: walked in attic

## Structural Observations

	<b>F</b>	<b>C</b>	<b>D</b>	F = Functional	C = Comment	D = Defect
Stairs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	some decay at the stair stringer closest to the foundation wall and below the stair landing -- stairs are not level -- structural repair is recommended		
Foundation:						
walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	some cracking -- walls appear structurally sound		
concrete slab	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	cracked/loose/missing masonry skim coating in several areas F.Y.I. -- floor slab is comprised of concrete pavers rather than a poured slab		
moisture	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	seepage in several areas (damp/wet at the time of the inspection) -- exterior grading/drainage and gutter/downspout improvements recommended		
				mold/mildew in several areas (on boiler system pipe insulation, underside of the main level floor (joists and subfloor), other wood components such as shelving, etc. -- proper mold clean-up is recommended -- mold clean-up should be performed by a qualified individual		
drain tile system / sump pump	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	none installed		
Floors & walls:						
joists & sub floor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	mold/mildew in some areas (underside of joists and subfloor) -- proper mold clean-up is recommended -- mold clean-up should be performed by a qualified individual		
walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
posts & beams	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	slight sag in the wood beam/post system down the middle of the house -- monitor -- future structural repair/reinforcement may be required		
moisture	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	although no signs of moisture intrusion were visible on the main and upper levels at the time of the inspection, all walls are plaster/drywall finished and this is not an intrusive evaluation -- see Structure Notes below		
Roof / attic:						
rafters & sheathing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
chimney	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	spalled/loose mortar joints at the base of the chimney in the basement mechanicals area -- patching/sealing the areas is recommended		
moisture	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	water staining on roof rafters and sheathing primarily around the chimney -- the stained areas were dry at the time of the inspection -- monitor		

## Limitations to Structural Observations

- Main and upper level walls are plaster/drywall finished so the condition of the framing members in those finished areas is unknown.

## Structure cont.

**Structure Notes:** We look for signs of hidden water damage, or the potential for damage. HOWEVER, damage can exist without readily visible signs. This visual inspection is NOT a moisture intrusion or mold inspection. A specialist in moisture intrusion and technically exhaustive wall cavity testing should be consulted if you have concerns regarding this property. Also, check the house quarterly for stains, cracks or other signs of hidden water damage, especially below windows and roof-wall joints.



# Insulation

## Insulation Observations

	<u>F</u>	<u>C</u>	<u>D</u>	F = Functional      C = Comment      D = Defect
Foundation exterior	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	none
Basement interior	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	none
Wall	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not visible -- all walls are finished
Attic	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>minimal insulating value but typical of the era -- attic spaces that are lacking adequate insulation and ventilation are prone to ice dam activity and heat loss from the house into the attic (higher energy bills) -- additional insulation, ventilation (roof vents and soffit vents) and sealing off attic bypass points (the attic access panel, areas where bath fans, can lights, electrical wires and plumbing pipes enter the attic space) can minimize the potential for ice dams, condensation and potential mold/mildew growth, and lower energy bills -- this house is a good candidate for improvements in these areas -- a professional energy audit could help identify areas to improve</p> <p>mouse droppings, mouse bait/poison and chewed insulation in attic -- further evaluation by a qualified pest control professional is required to determine if mouse activity is current and potential points of entry</p> <p>type: cellulose (below attic floor boards - primarily not visible)</p> <p>depth: 5 to 6 inches</p> <p>vapor barrier: no</p> <p>ventilation: yes but very minimal -- minimal number of attic vent caps and no soffit venting -- see Attic notes above</p>

## Limitations to Insulation Observations

- Main and upper level walls are finished so the type, depth and condition or presence of insulation is unknown.

**General Insulation Notes:** Interior foundation (basement wall) insulation, common in modern homes, is not recommended. It is difficult to control moisture and water vapor in an interior insulated foundation. Exterior foundation insulation is advised. Interior finish on foundation walls may be successful if NOT insulated using common methods. Check interior insulated basements often for signs of dampness. Also, unfaced fiberglass insulation in rim joists cavities may lead to condensation and deterioration on the rim joist framing. Alternate type insulation is advised for interior foundation walls and rim joist cavities: foam-in-place insulation or foil faced rigid foam insulation board, cut-to-fit and caulked in place.

# Electrical

## Description of Electrical

Utility service:	overhead 115/230 volts
Main panel size:	1 panel – 100 amp service
age:	unknown (likely updated within last 30 years)
Main disconnect:	circuit breaker with copper entrance wires
shut-off location:	in basement
Distribution wiring:	circuit breakers with copper non-metallic sheathed cable (Romex) wiring

## Electrical Observations

	<b>F</b>	<b>C</b>	<b>D</b>	F = Functional	C = Comment	D = Defect
Utility service	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
Main panel:						
size/amperage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
grounding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
wiring	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		some NOT-in-use knob & tube type wiring components observed in the basement (porcelain sleeves and bases) -- although no active "hot" knob & tube wiring was observed in the house, it is possible that some may be in-use in non-visible areas -- knob & tube wiring is considered hazardous by some electrical professionals	
Outlets & fixtures:						
exterior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
basement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		unprotected non-metallic sheathed cable (Romex) wiring run down one of the wood posts for light switch -- non-metallic cable that is run across a ceiling or down a wall should be protected within conduit piping	
attic	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
Smoke/fire alarms:						
condition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		some old and non functioning detectors -- installing new detectors on each level and in each bedroom is recommended	
location	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		none installed in the basement	
power source	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		battery powered -- monitor/test regularly (some locations)	
Carbon monoxide detectors:						
location	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		none installed -- carbon monoxide detectors are now required within 10 feet of all bedrooms and recommended on each level of the home (but not in the immediate area of the gas combustion appliances) for safety	

**Electrical Notes:** Several light fixtures throughout the house did not operate when tested (possibly burned-out bulbs but not confirmed).

## Limitations to Electrical Observations

- Condition of electrical wires that are concealed within walls, floors/ceilings and underground is unknown.
- Security systems, telephone wiring systems, television wiring systems and any other low voltage systems are not evaluated as part of this inspection.

# Plumbing

## Description of Plumbing

Main visible water pipe:	copper
Main water shut-off location:	in basement
Interior water pipes:	copper
Main visible waste pipe:	iron
Interior drain pipes:	galvanized steel and PVC plastic
Water heater type & size:	1 natural gas storage tank – 40 gallons
age:	18 years
make/model:	Kenmore 153.334450
serial number:	M96837035

## Plumbing Observations

	<u>F</u>	<u>C</u>	<u>D</u>	F = Functional	C = Comment	D = Defect
Public water supply:						
main pipe/equipment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		water meter has been removed -- contacting the water utility company for reinstallation of a water meter is needed	
interior pipes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		the water service has been turned off and all plumbing fixtures have been winterized -- the systems and equipment utilizing water flow were not fully evaluated.	
Public waste disposal:						
soil stack	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		the water service has been turned off and all plumbing fixtures have been winterized -- the systems and equipment utilizing water flow were not fully evaluated.	
drain & vent pipes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		the water service has been turned off and all plumbing fixtures have been winterized -- the systems and equipment utilizing water flow were not fully evaluated.	
floor drain	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		appeared functional but no water was run through drain system	
Laundry tub	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		the laundry tub and/or base are not secured to the floor or a wall -- recommended improvement	
					faucet not operated/evaluated -- plumbing system was winterized	
Exterior spigots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		not operated/evaluated -- plumbing system was winterized	

## Natural gas supply:

Type of interior gas piping:	steel piping
meter	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> the main gas valve at the meter is turned off and bolted closed by the gas utility company
interior piping	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> gas line/pipe has been disconnected from the water heater
	open ended (not capped) gas lines where the clothes dryer and kitchen range were previously installed -- gas lines must be properly capped/sealed until appliances are installed

# Plumbing cont.

## Water Heater Observations

	<u>F</u>	<u>C</u>	<u>D</u>	
				F = Functional      C = Comment      D = Defect
Storage tank	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	damaged unit (gas valve system removed) -- tank replacement is needed
Vent pipe	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	appeared functional but the system was not operable
Operating controls	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	damaged unit (gas valve system removed) -- tank replacement is needed

## Limitations to Plumbing Observations

- Condition of underground sewage pipe is unknown and beyond the visual scope of this inspection. Main waste line video scope recommended to confirm condition.
- Condition of underground water supply pipe is unknown and is beyond the visual scope of this inspection.
- Condition of plumbing pipes that are concealed within finished walls and floors/ceilings is unknown.
- The interiors of flues or chimneys that are not readily accessible from the interior are not inspected. Chimney caps will not be removed and vent connector sections will not be disassembled. You are advised to have all chimney flues cleaned and evaluated by a qualified licensed chimney contractor.
- The water service has been turned off and all plumbing fixtures have been winterized. The systems and equipment utilizing water were not fully evaluated.

# Mechanicals

## Description of Mechanicals

Central heating type: 1 natural gas boiler system with iron radiators  
 age: 11 years  
 approx. size: 140,000 BTU  
 make/model: Weil-McLain CGA-5-SPDN  
 serial number: CP4758161  
 Central cooling type: no electric central air conditioning system

## Heating Observations

	<b>F</b>	<b>C</b>	<b>D</b>	F = Functional	C = Comment	D = Defect
Boiler:						
jacket	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
heat exchanger	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			not visible without system disassembly -- see Limitations section below
distribution	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			natural gas supply is turned off and the boiler system was drained -- not operated during the inspection -- starting system and full evaluation by a licensed boiler technician is recommended some loose areas of pipe insulation -- this type of insulation may contain asbestos fibers and should be repaired/replaced by a qualified individual
operating controls	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			natural gas supply is turned off and the boiler system was drained -- not operated during the inspection -- starting system and full evaluation by a licensed boiler technician is recommended
Vent pipe	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			appeared functional but the system was not operated
Supplemental heating – electric baseboard heater in the left rear bedroom:						
condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
operation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			

## Limitations to Heating Observations

- Due to the design and limited visible area, the heating system heat exchanger and chimney is not visible in all areas. There is the potential of hidden concerns that are not visible and will not be documented in this report. It may be necessary for a qualified licensed heating contractor to remove burners and completely dismantle the heating system to make a failed heat exchanger evident. This VISUAL inspection has limitations because of heating system design. Block By Block Home Inspections Inc. will not be responsible for any or all non-visible cracks or cracks that develop in the heat exchanger. Certification of the heat exchanger is beyond the scope of this visual inspection.
- The interiors of flues or chimneys that are not readily accessible from the interior are not inspected. Chimney caps will not be removed and vent connector sections will not be disassembled. You are advised to have all chimney flues cleaned and evaluated by a qualified licensed chimney contractor.

## Description of Interior

Number of bedrooms: 3  
 Number of bathrooms: 1  
 Primary window type: double hung type with insulated (thermal pane) glass

### Kitchen

	<u>F</u>	<u>C</u>	<u>D</u>	F = Functional    C = Comment    D = Defect
Wall & ceiling	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	water stains on ceiling (the bathroom is located above the kitchen) -- the stained areas were dry at the time of the inspection -- plumbing fixtures should be checked for proper operation without leaks once the water has been restored into the house water staining and efflorescence on the west kitchen wall and staining (and sag) on the door jamb header into the pantry room -- this area is located below the flat roof connection to the house -- the areas were dry at the time of the inspection -- monitor closely
Floor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	floors not level -- see Structure notes on page 7
Window & door	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	broken glass in a cabinet door in the rear pantry room
Outlets & fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	exposed electrical wiring where the dishwasher was previously installed loose hanging ceiling light fixture in the rear pantry room COMMENTS: loose electrical outlets along the counter backsplash ungrounded/open ground outlets on the north wall -- repairs by a licensed contractor or other qualified individual recommended
Heat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Plumbing fixture	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not operated/evaluated -- plumbing system was winterized
Water flow	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not operated/evaluated -- plumbing system was winterized
Cabinets & countertops	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

### Living / Dining

Wall & ceiling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Floor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	floors not level -- see Structure notes on page 7
Window & door	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	chipped (small hole) in one window (left side dining room) from a BB gun -- the windows are double pane thermal glass and the hole is only in the outer pane -- window will likely fog up between panes of glass in winter
Outlets & fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Heat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

### Bedrooms

Wall & ceiling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Floor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	floors not level -- see Structure notes on page 7
Window & door	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Outlets & fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	missing electrical outlet cover plate(s) in the front right bedroom exposed electrical splices above the ceiling fan/light fixture in the front left bedroom missing electrical switch cover plate(s) in the front left bedroom COMMENT: loose electrical outlet(s) in the front right bedroom
Heat	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	electric baseboard heater only in the left rear bedroom

# Interior cont.

## Bathroom

**F C D**

F = Functional C = Comment D = Defect

Wall & ceiling	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	water damaged wall next to the bath tub and next to the toilet floors not level -- see Structure notes on page 7 some water damaged subfloor below the vinyl flooring around the toilet and sink cabinet
Floor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Window & door	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	missing door knob
Outlets & fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	broken test button on the GFCI outlet receptacle -- outlet replacement is recommended
Heat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Plumbing fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not operated/evaluated -- plumbing system was winterized
Water flow	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	not operated/evaluated -- plumbing system was winterized
Cabinets & countertops	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ventilation fan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	damaged exterior exhaust cap on the rear wall of the house -- cap replacement recommended there are two ventilation fans installed (one on the wall and one on the ceiling) -- the one on the ceiling did not operate -- the one on the wall does not move much air -- fan repair/replacement is recommended

## Hallways / Entries

Wall & ceiling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	buckled/heaved wood strip floor in the upper level hallway
Floor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Window & door	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Outlets & fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Stairs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	no handrail installed at the stairs to the basement low, incomplete and generally improper guardrail around the attic stairwell COMMENT: handrail/guardrail configurations are missing or are below modern safety practices -- recommended safety improvements: 1) handrail ends do not return to wall(s)

## Limitations to Interior Observations

- Leaking insulated window glass seals (fogging and condensation between panes) may not be visible at time of inspection due to temperature conditions.

## **Statement of Limitations**

The inspection was essentially visual, not technically exhaustive, and did not imply that every defect would be discovered. The project was based upon conditions that existed at the time of the inspection. The inspection excluded and did not intend to cover any and all components, items and conditions by nature of their location were concealed or otherwise difficult to inspect. There was no dismantling, destructive analysis, or technical testing of any component. Excluded were all cosmetic conditions such as carpeting, vinyl floors, wallpaper, and paint. The inspection covered only the listed items and was evaluated for function and safety, not code compliance. This was not intended to reflect the value of the premises and did not make any representation as to the advisability or inadvisability of purchase.

**THE INSPECTION DID NOT INCLUDE ANALYSIS OR TESTING OF ANY ENVIRONMENTAL HEALTH HAZARDS.** No tests were conducted to determine the presence of air borne particles such as asbestos, noxious gases such as radon, formaldehyde, molds, mildews, toxic, carcinogenic or malodorous substances or other conditions of air quality that may have been present; nor conditions which may cause the above. No representations as to the existence or possible condition of lead paint, abandoned wells, private sewage systems, or underground fuel storage tanks were made. There were no representations as to any above or below ground pollutants, contaminants, or hazardous wastes. The quality of drinking water was excluded from this inspection.

**THE INSPECTION DID NOT INCLUDE ANALYSIS OR TESTING FOR INSECTS AND VERMIN.** No tests were conducted to determine the presence or absence of rodents and insect pests.

**THE INSPECTION AND REPORT ARE NOT A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, OF THIS BUILDING OR ANY OF ITS COMPONENTS.** The inspection and report are furnished on an "opinion only" basis. We assume no responsibility for the cost of repairing or replacing any unreported defects or conditions. This report is for the sole, confidential and exclusive use and possession of our client and no third party liability is assumed.

Brian Block  
Block By Block Home Inspections Inc.